



PROPERTY SITUATED IN THE NW 1/4 AND
THE SW 1/4 OF THE NE 1/4 OF SECTION 29,
T-8-N, R-2-E, MADISON COUNTY, MISSISSIPPI

1/2" iron rebar set

N 89°46'36" E 416.51'

N 00°02'44" W 208.68'

John W. Campbell
DB 338, Page 337
2.00 acres

1/2" iron rebar found

S 89°46'36" W 424.07'

Sanitary Sewer MH
Top 277.92'
Inv. 272.42'

1/2" iron rebar set

S 00°02'44" E 111.33'

1/2" iron rebar found

Sanitary Sewer MH
Top 275.27'
Inv. 269.89'

S 04°29'20" E 97.62'
R=630.00'
A.L.=97.72'

1/2" iron rebar found

ENTERPRISE DRIVE

LEGEND

- ⊙ 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET (18" LONG)
- CABLE PEDESTAL
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SIGN
- STORM INLET
- ⊙ SAN. SEWER MANHOLE
- ⊙ SOIL BORING
- SAN. SEWER
- GAS LINE
- UNDERGROUND TELECOMMUNICATION
- CONTOURS
- OVERHEAD POWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- LIGHT POLE
- ⊙ WATER METER
- ⊙ SEWER CLEANOUT
- ⊙ POWER METER
- ⊙ GAS METER

Date:	
By:	
Revisions:	
No.	

Project No.:	# 3680
Date:	07/15/2016
Scale:	1" = 30'
Designed By:	CLB
Reviewed By:	PCF

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BOUNDARY & TOPOGRAPHIC SURVEY
GLUCKSTADT, MISSISSIPPI

SHEET
C 0.0

PROPERTY ZONED C-2
Front Yard = 35'
Side Yard = none
Rear Yard = 50'

MS One-Call: 16052608140108
Bear Creek Water Assoc. - Sanitary, Water
AT&T - Telephone
Atmos - Gas
Entergy - Power

Class "A" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Underground utilities are based on physical evidence, maps provided by utility companies, and utility locate service personnel. Some utilities shown on this plat may be approximate only. Should call MS One-Call before any digging.

Property located in Zone X as referenced on FEMA Map 28089 C 415F, dated March 17, 2010.

This BOUNDARY & TOPOGRAPHIC survey was performed and this plat was prepared by Floyd & Baird Engineering, 130 E. Northside Drive, Clinton, MS 39056 Phone: (601) 925-5015

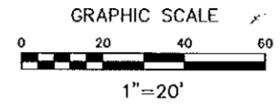
This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on September 30, 2016.

Date of field survey: September 27, 2016.

Elevations referenced to NAVD88.

Reference Bearing taken from GPS grade survey equipment and is referenced to Grid North, SPC MS West.



SITE PLAN NOTES
GENERAL

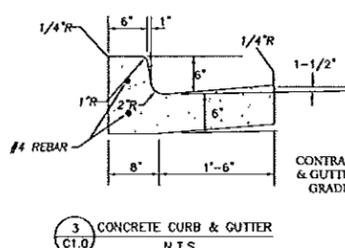
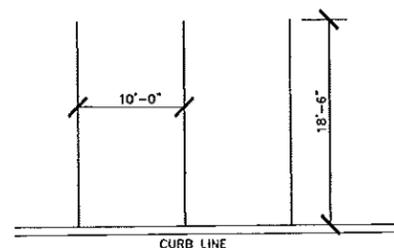
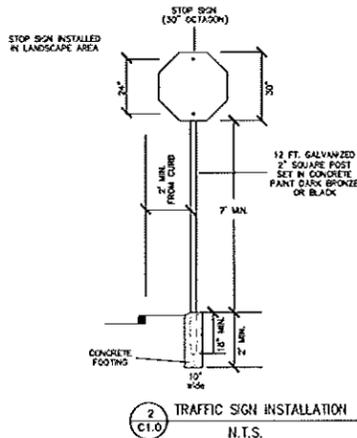
- BOUNDARY SURVEY TAKEN FROM A SURVEY PREPARED BY FLOYD & BARD ENGINEERING, INC., DATED OCTOBER 1, 2016.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH GSA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLID SOO UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL WATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING GRANDVIEW BOULEVARD.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- SEE ARCHITECTURAL SHEETS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- NO SIGN STRUCTURE NEEDED FOR THIS SITE. SIGNAGE IS LOCATED ON BUILDING.
- DUMPSTER WILL HAVE A 6" TALL BRICK WALL AROUND AND THE BRICK TO MATCH THE BUILDING. SEE LANDSCAPE PLAN FOR SCREENING AROUND DUMPSTER. THE GATE WILL BE PAINTED STEEL. SEE ARCHITECT PLANS FOR DETAILS.
- A/C UNIT WILL BE LOCATED ON THE ROOF OF THE BUILDING.
- LOT COVERAGE:
TOTAL LOT: 87,161.50 SF
BUILDING: 11,373 SF
LANDSCAPE: 19,606.50 SF
PARKING/DRIVES: 19,100 SF
LAWNSTONE: 37,080 SF
- PARKING PROVIDED IN THIS PROJECT:
1 ADA COMPLIANT PARKING SPACES
28 STANDARD PARKING SPACES
29 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).

FLOOD ZONE

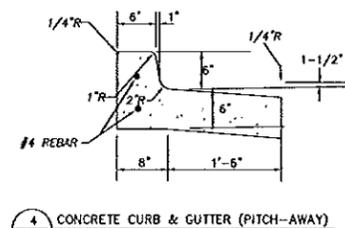
This property is located in Zone X, as being described as outside the 500 year flood plain, according to FIRM Map No. 28089 C 415F, Madison County, MS. Effective Date: MARCH 17, 2010.

PROPERTY ZONE

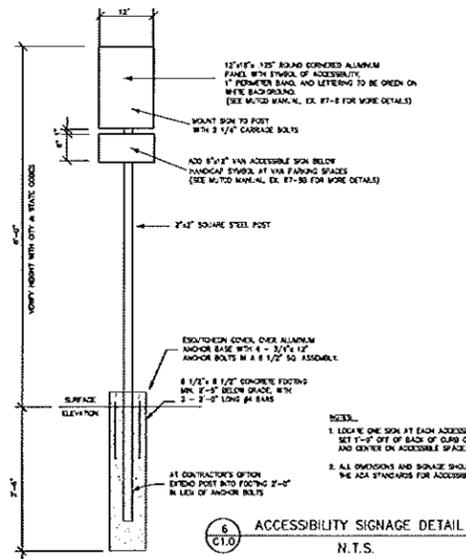
Subject property is located in Zone O-2.



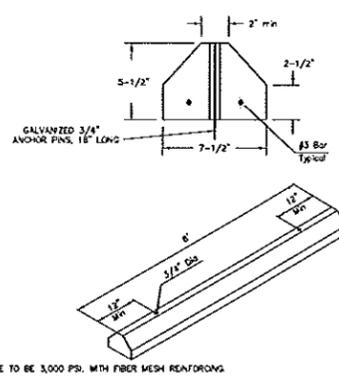
*CONTRACTOR JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



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REINFORCED PRECAST CONCRETE PARKING BUMPER

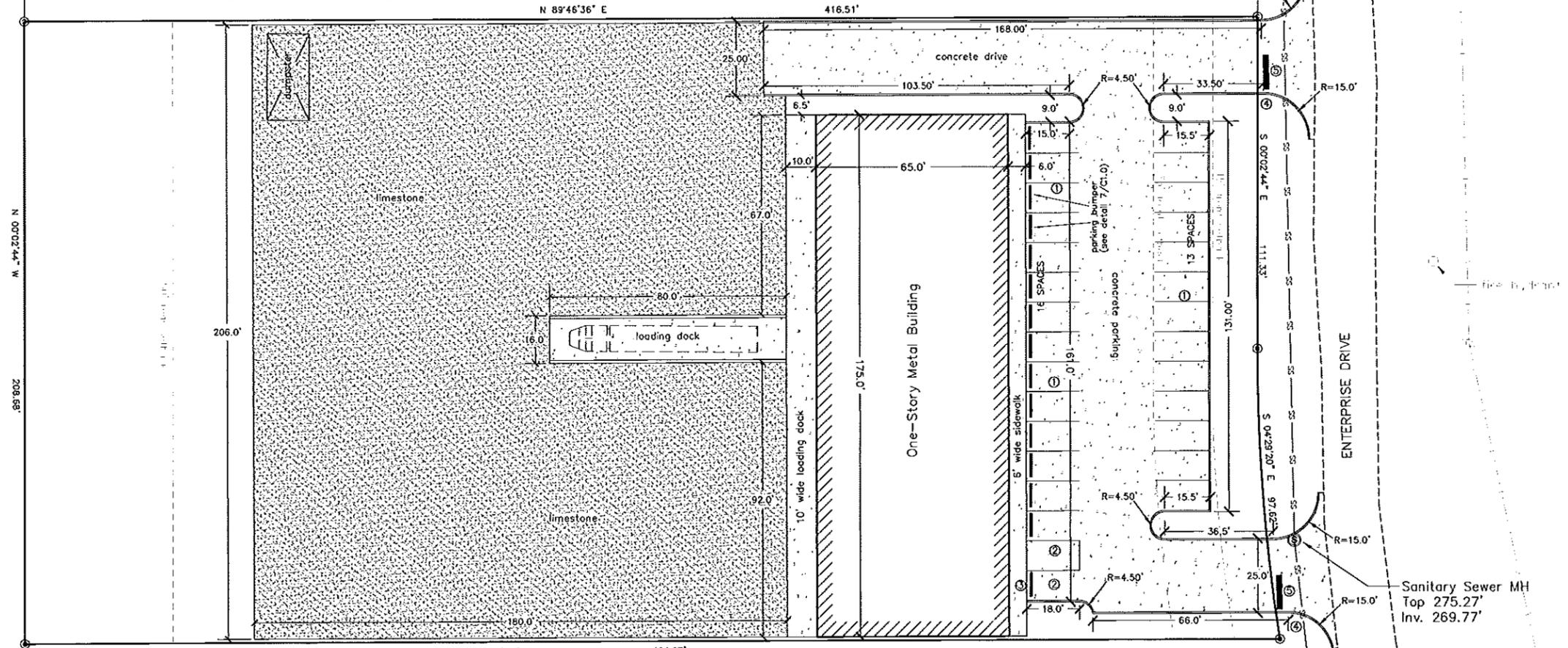


NOTES

- WHEEL STOPS TO BE PLACED 2' BACK AS SHOWN ABOVE, CENTERED IN THE PARKING STALL.
- WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.

PARKING FEATURES LEGEND

- ① TRAFFIC STRIPE (PARKING)
 - ② TRAFFIC STRIPE (HANDICAP)
 - ③ HANDICAP PARKING SIGN (RT-B)-DETAIL 6/C1.0
 - ④ STOP SIGN (DETAIL 2/C1.0)
 - ⑤ 24" LEGEND
- 4" CONTINUOUS WHITE
6" CONTINUOUS BLUE
SEE MUTCD MANUAL FOR SPECIFICATIONS.
SEE MUTCD MANUAL FOR SPECIFICATIONS.
WHITE



LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C1.0)
- HANDICAP PARKING
- PROPERTY LINE
- PROPERTY LINE

Date: _____
By: _____
Revisions: _____
Site Plan - lchibon.dwg
Project No. 3660
Date: 10/15/2016
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCR
SITE PLAN
BOWMAN PLAZA
SHEET
C1.0

SITE PREPARATION NOTES

1. GENERAL

THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
SEE ARCHITECTURAL PLANS FOR THE LOCATION OF DOWN SPOUTS FOR ROOF DRAINAGE, IF ANY.
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF JACKSON STANDARDS.

2. CLEARING

PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.

3. GRUBBING

REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

4. CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

5. SITE GRADING

PROFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 95% ASTM D698 PRIOR TO FILL PLACEMENT.

CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.

ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.

ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

6. FILLING AND BACKFILLING MATERIALS

IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH 22% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 45 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 24.

7. DETENTION POND

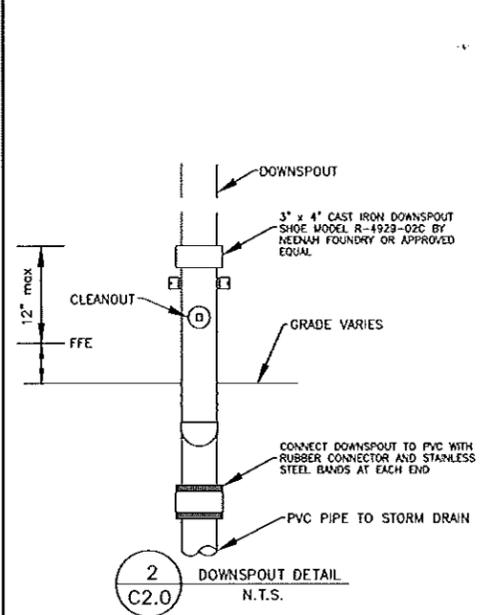
NO DETENTION REQUIRED FOR THIS PROJECT.

8. STORM DRAIN PIPE

NEW STORM PIPE ON THIS SHEET LABELED "PVC" SHALL BE ASTM A-2000 CORRUGATED PVC PIPE.

9. GEOTECHNICAL REPORT

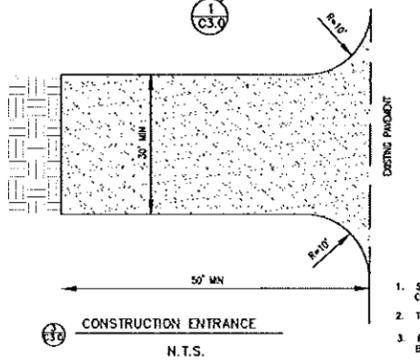
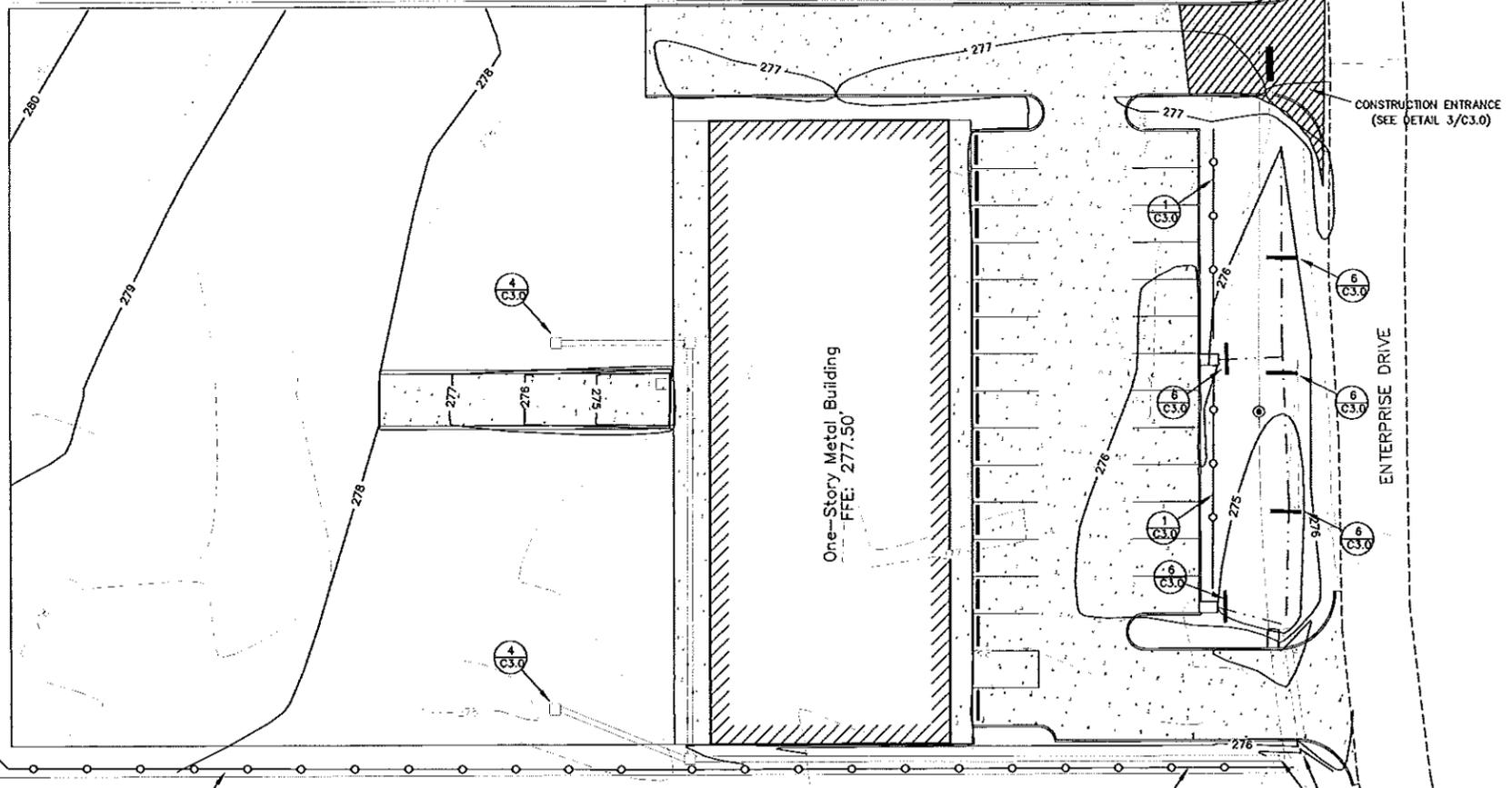
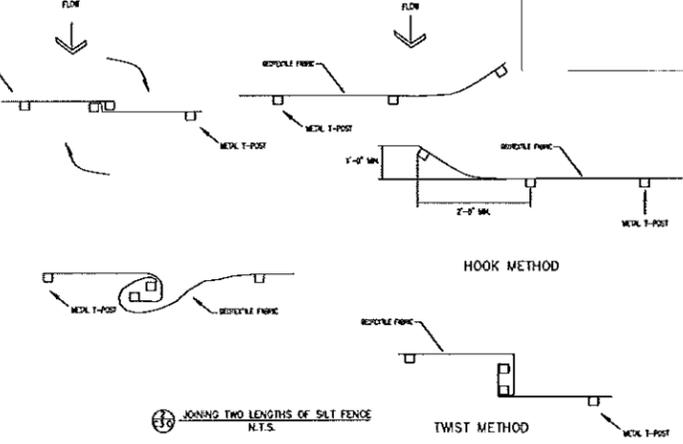
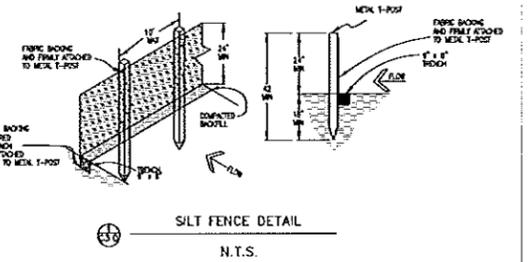
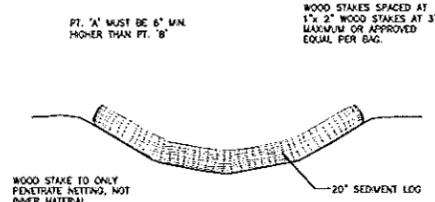
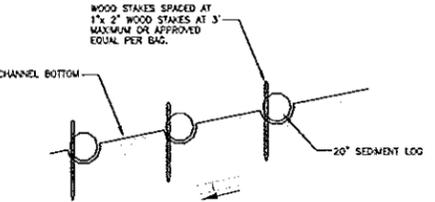
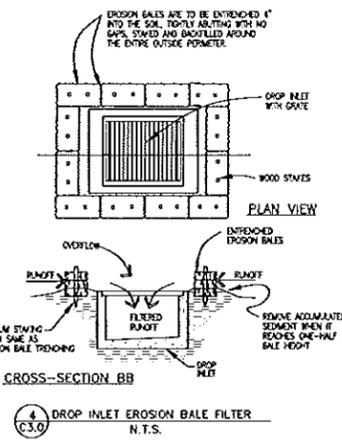
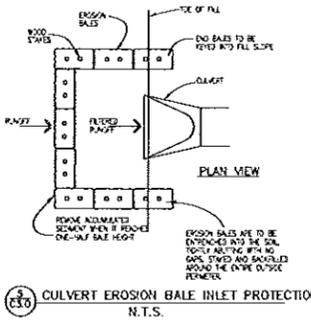
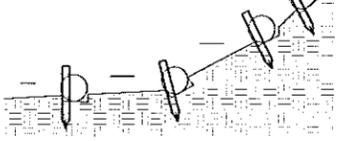
GEOTECHNICAL REPORT BY LADNER ENGINEERING, DATED JANUARY 2016.



LEGEND

- PROPOSED CONCRETE CURB
- ⊙ 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- DIRECTION OF FLOW
- x 368.00' TOP OF PAVEMENT ELEV.
- Ⓧ x 277.50' TOP OF CURB ELEV.
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TYPICAL WATTLE SPACING BASED ON SLOPE GRADIENT



NOTES:

- SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
- ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
- PLACE HAY BALES AROUND CURB INLETS DURING CONSTRUCTION.
- PLACE CULVERT EROSION BALES AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
- MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
- ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
- SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTENANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

- Build construction entrance/exit
- Rough grade site, stockpile topsoil (with silt fence), install silt fences
- Construct ditches, swales and basins (as needed)
- Construct buildings, parking areas, utilities and drives
- Seed disturbed areas

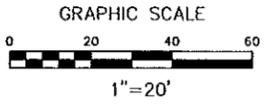
Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SOIL/FILL MATERIALS TO BE PLACED ON PROPERLY INSURE FILL/OUT MATERIAL. CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE. THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE. CONCRETE WILL BE DELIVERED ON-SITE WITH CONCRETE TRUCKS. SPILLAGE FROM TIPPING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORED ON SITE UNTIL IT CAN BE Hauled TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

- NOTES:
- STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - THICKNESS - NOT LESS THAN 6".
 - FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE.



Date:	
By:	
Revisions:	
No.	

Project No:	# 3650
Date:	10/15/2016
Scale:	1" = 20'
Designed By:	CTB
Reviewed By:	PCF

FLOYD S BAIRD ENGINEERING, INC.
130 E. Northside Drive, Clinton, MS 39056
Phone: (601) 925-3015
www.floyd.com

EROSION CONTROL PLAN
BOWMAN PLAZA

EROSION CONTROL PLAN
BOWMAN PLAZA

SHEET
C3.0

UTILITIES NOTES

1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DSTRUCTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE MECHANICAL SHEETS FOR BUILDING CONNECTIONS.

GAS COMPANY TO BE RESPONSIBLE FOR THE SIZE AND CONSTRUCTION OF THE PROPOSED GAS LINES AS SHOWN ON THIS PLAN.

2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

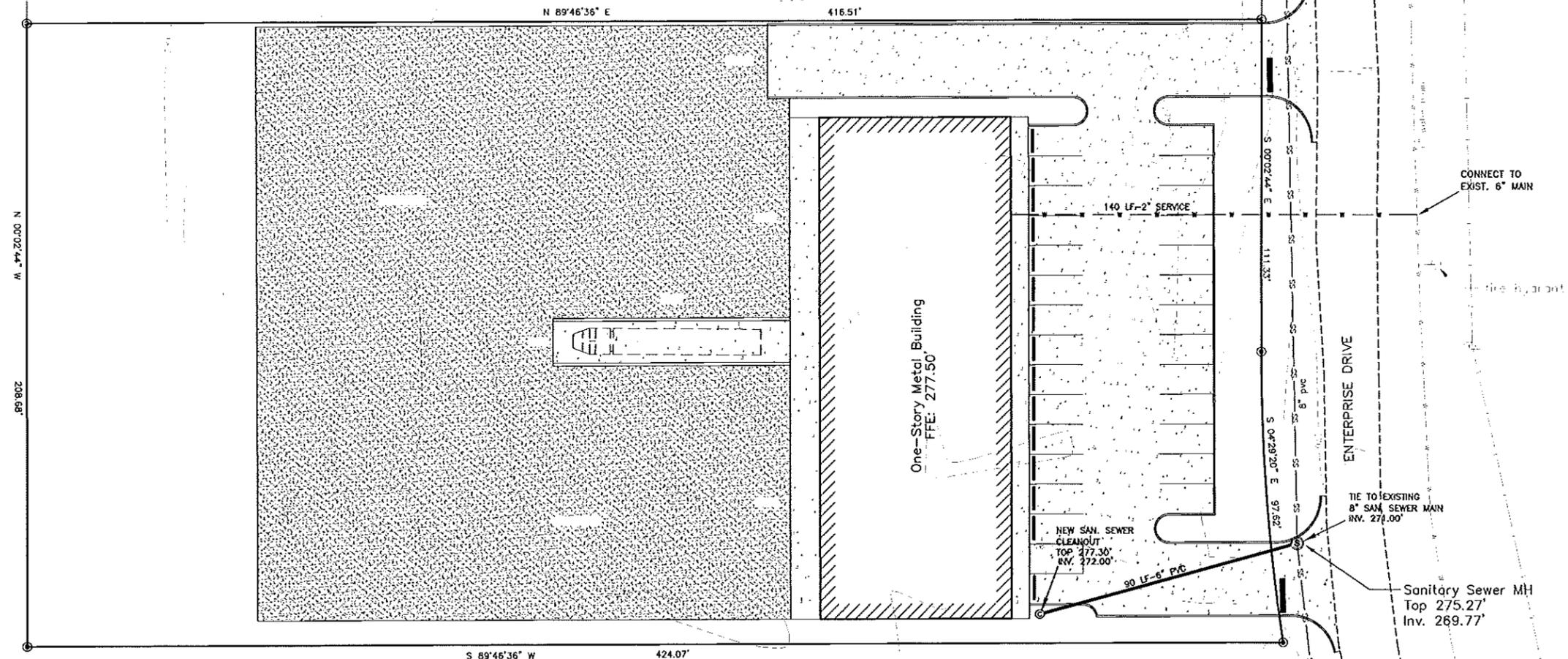
SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

ALL WATER SERVICE LINES 3" AND UNDER SHALL BE FB, AWWA STD. C-902 CLASS 160.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.



LEGEND

- PROPOSED CONCRETE CURB
- 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- [BFP] BACKFLOW PREVENTER
- [FDC] FIRE DEPARTMENT CONNECTION

UTILITY CONNECTIONS

UTILITY CONNECTIONS SHOWN ON THIS PLAN SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY AS INDICATED BELOW AND ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR REGULATIONS AND REQUIREMENTS.

SANITARY SEWER SERVICE:
BEAR CREEK WATER ASSOC.
CONTACT: NOLAN WILLIAMSON
TELEPHONE: 601-856-8958

ELECTRIC SERVICE:
ENTERGY
CONTACT: JOHN PEACOCK
TELEPHONE: 1-800-368-3749

WATER SERVICE:
BEAR CREEK WATER ASSOC.
CONTACT: NOLAN WILLIAMSON
TELEPHONE: 601-856-8958

NATURAL GAS SERVICE:
ATMOS ENERGY
CONTACT: N/A
TELEPHONE: N/A

* SEE MECHANICAL SHEETS (MECHANICAL SITE PLAN) FOR GAS CONNECTIONS AND LAYOUT
* SEE ELECTRICAL SHEETS (ELECTRICAL SITE PLAN) FOR ELECTRICAL CONNECTIONS AND LAYOUT

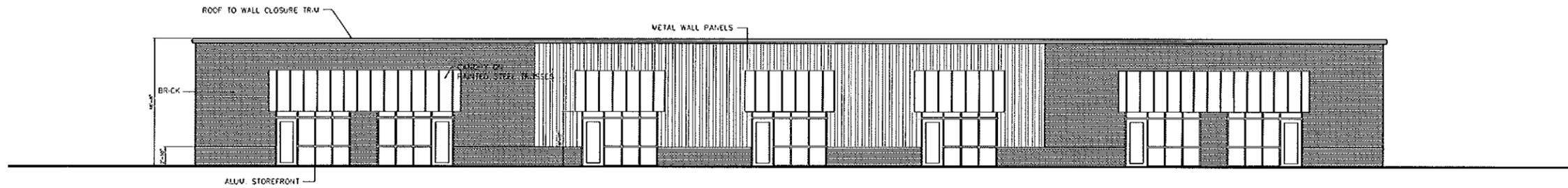
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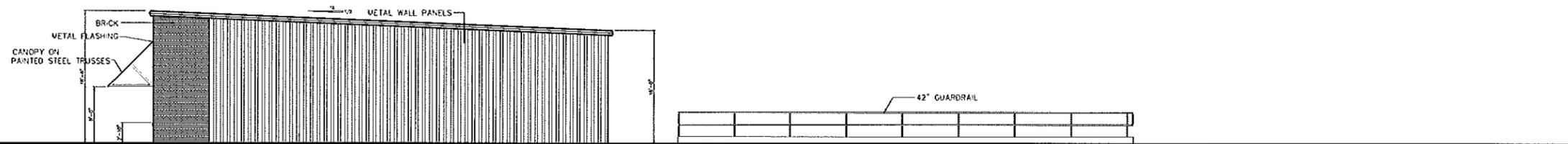
Project No: # 3680
Date: 10/15/2016
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

UTILITY PLAN
BOWMAN PLAZA

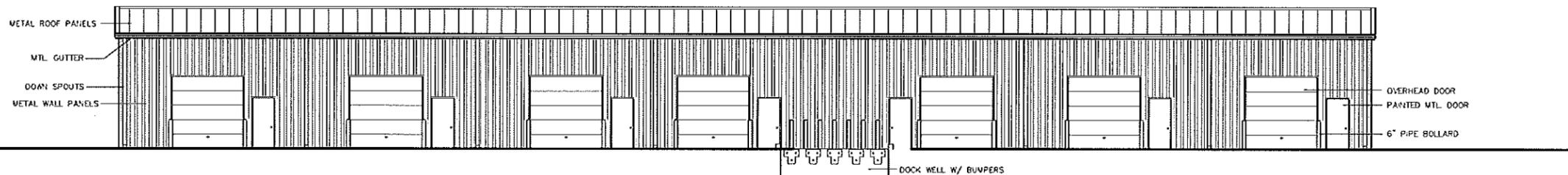
SHEET
C4.0



1
A1.0 FRONT ELEVATION (EAST)
SCALE: 1/8"=1'-0"

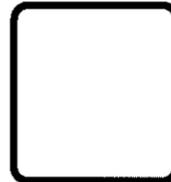


2
A1.0 SIDE ELEVATION (NORTH & SOUTH)
SCALE: 1/8"=1'-0"



3
A1.0 REAR ELEVATION (WEST)
SCALE: 1/8"=1'-0"

REVISIONS	BY



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DATE	
CHECKED	
DATE	July 2, 2015
SCALE	
JOB NO.	
SHEET	A1.0
OF SHEETS	5